











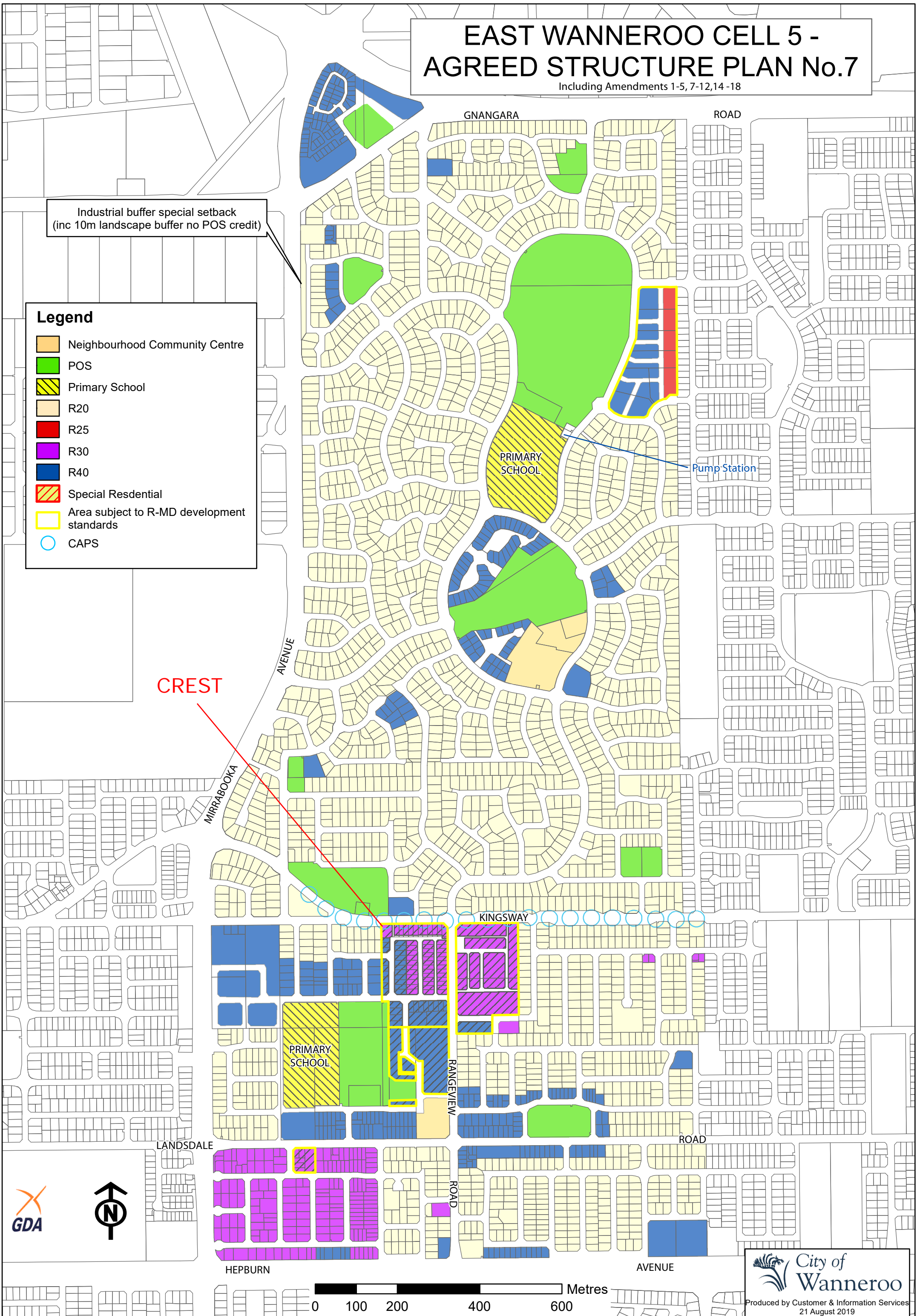
EAST WANNEROO CELL 5 - AGREED STRUCTURE PLAN No.7

Including Amendments 1-5, 7-12,14-18

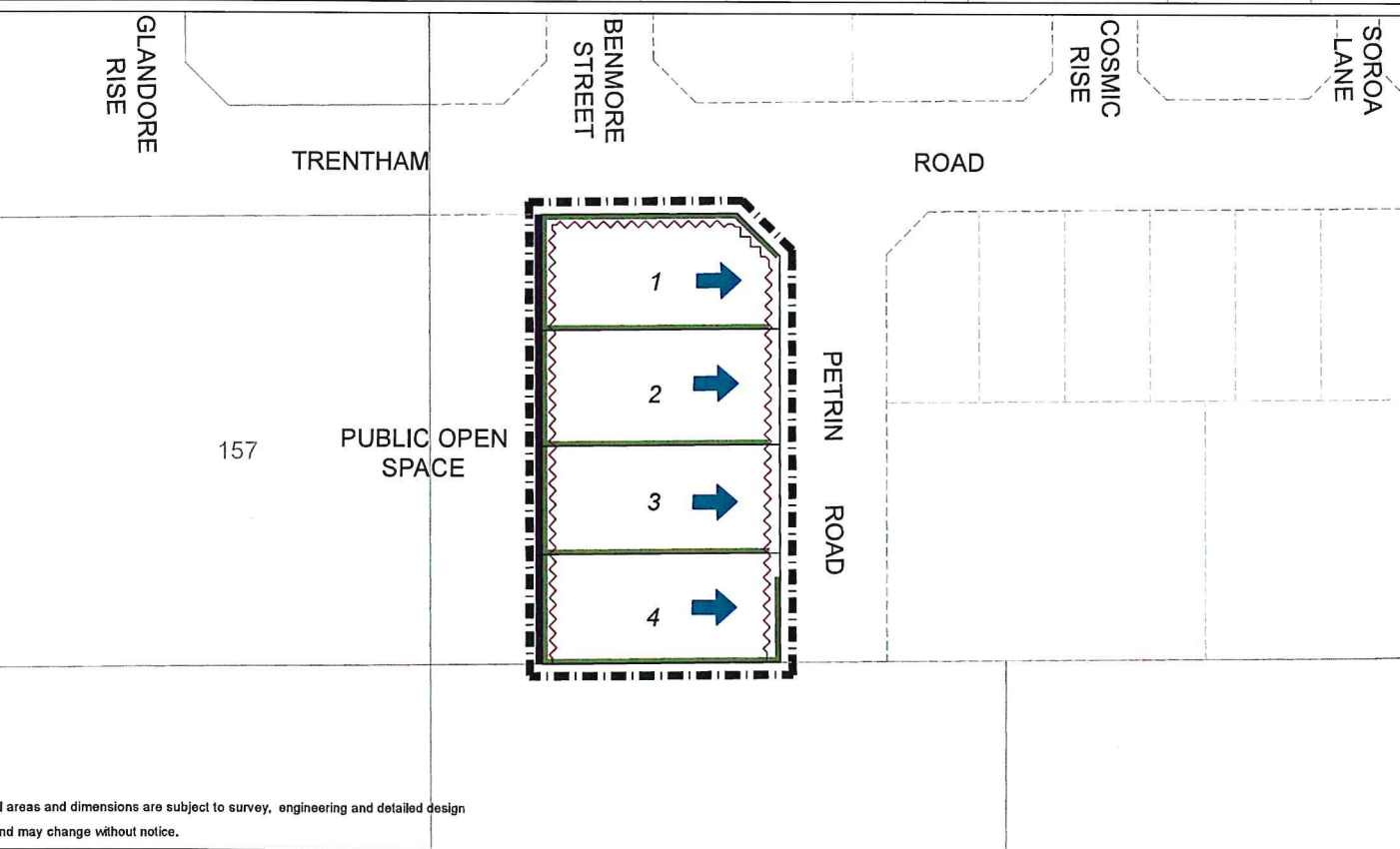
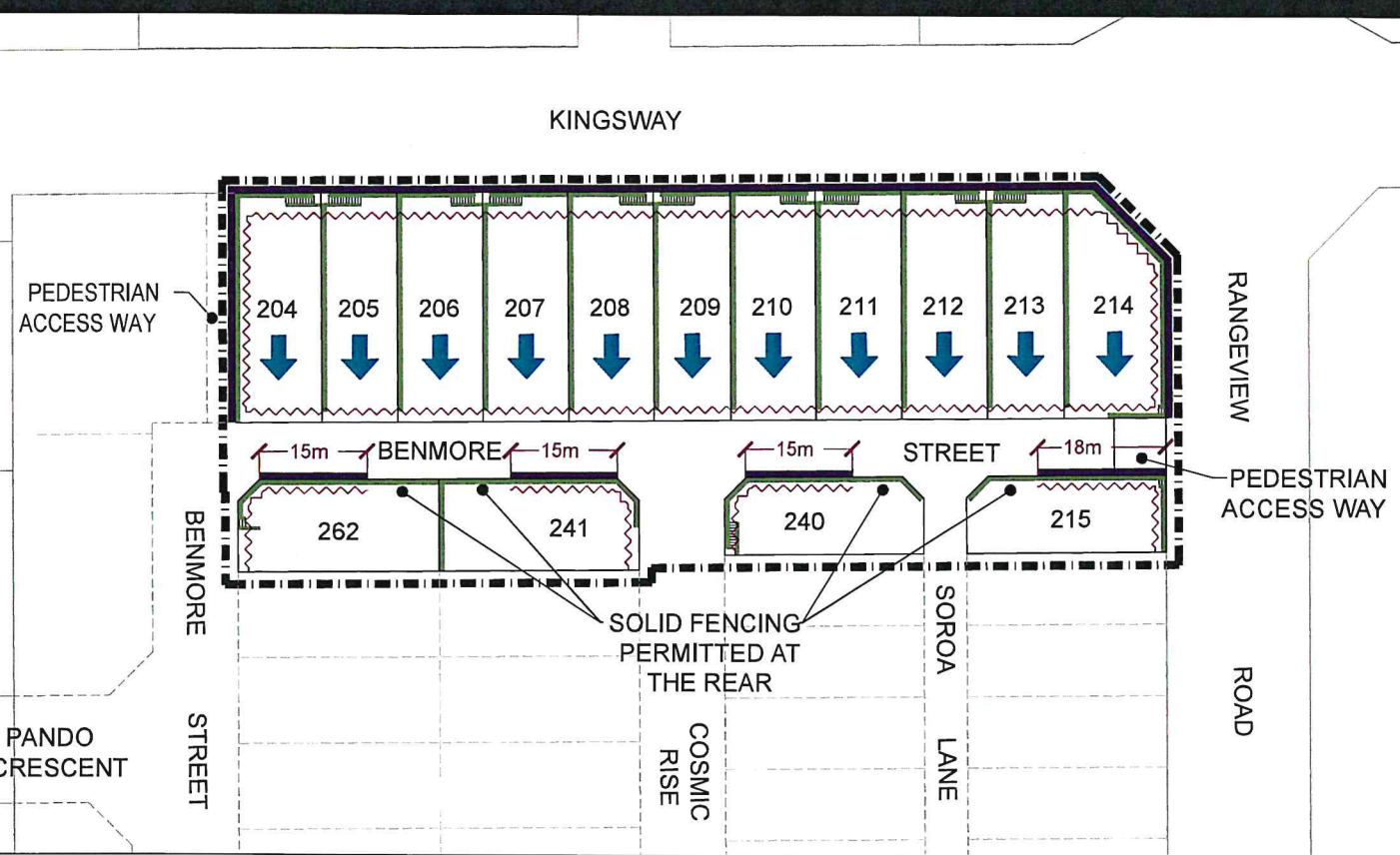
Industrial buffer special setback
(inc 10m landscape buffer no POS credit)

Legend

-  Neighbourhood Community Centre
-  POS
-  Primary School
-  R20
-  R25
-  R30
-  R40
-  Special Residential
-  Area subject to R-MD development standards
-  CAPS



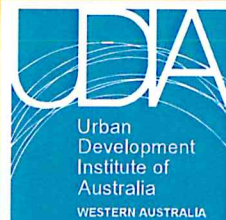
LOCAL DEVELOPMENT PLAN (1:1,000)



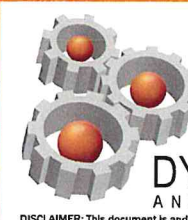
All areas and dimensions are subject to survey, engineering and detailed design and may change without notice.

LOCAL DEVELOPMENT PLAN No. 3
 EAST WANNEROO CELL 5
 LANDSDALE
 City of Wanneroo

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SCALE: 1:1000 @ A3
 DATE: 5th OCTOBER 2018
 FILE: 803_05.10.2018.dwg
 DRAW: - SB
 CHECKED: -

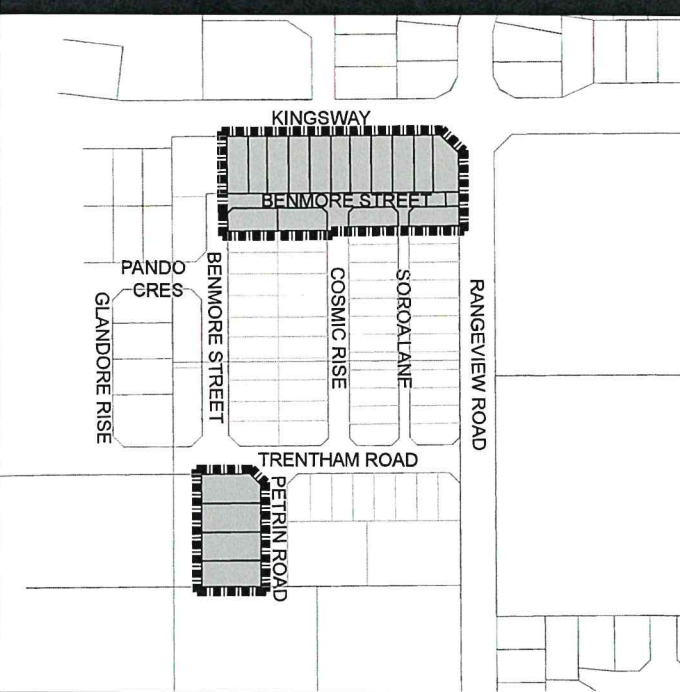


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LOCATION PLAN (1:4,000)



LEGEND

- Local Development Plan Area
- Existing/approved retaining walls
- Major openings required (refer Provision 2)
- Visually permeable fencing required (refer Provision 3)
- Dwelling orientation (refer Provision 4 & 5)

ENDORSED

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2.

Manager, Approval Services
 City of Wanneroo

8-10-2018
 Date

PROVISIONS

General

1. Unless provided for below, the provisions of the City of Wanneroo District Planning Scheme No.2 (DPS2), Residential Design Codes (R-Codes), and/or the City of Wanneroo's Local Planning Policy 4.19: Medium Density Housing Standards (R-MD) (as applicable) shall apply.
- Streetscape and Dwelling Orientation
2. Dwellings shall include a minimum of one major opening, as defined in the R-Codes, per boundary in the locations shown on this LDP.
3. Fencing shall be visually permeable, as defined in the R-Codes, above 1.2m of natural ground level in locations shown on this LDP.
4. Dwellings on lots 204-214 (inclusive) shall address Benmore Street as the primary street as shown on this LDP.
5. Dwellings on lots 1, 2, 3 & 4 shall address Petrin Road as the primary street.
6. Boundary walls are not permitted to the Public Open Space.
7. Outdoor living areas may be located within the secondary street setback area.